

VICINITY MAP  
FOR REFERENCE ONLY

Legal Description:  
DIAMOND PARK ESTATES  
BLK 1 LT 4

SITE PLAN INFORMATION	
LOT SIZE	5,662 SF
TOTAL BUILDING AREA	2,670 SF
PERCENT LOT COVERED	47 %

SQUARE FOOTAGE	
PROPOSED LIVING AREA	2,015 SF
PROPOSED GARAGE	371 SF
PROPOSED COV 'D PATIO	215 SF
PROPOSED PORCH/ENTRY	69 SF
TOTAL	2,670 SF

THESE PLANS ARE INTENDED TO PROVIDE BASIC CONSTRUCTION INFORMATION NECESSARY TO SUBSTANTIALLY BUILD THIS STRUCTURE. THESE PLANS MUST BE VERIFIED AND CHECKED BY THE BUILDER, HOMEOWNER, AND ALL CONTRACTORS OF THIS JOB PRIOR TO CONSTRUCTION. BUILDER SHOULD OBTAIN COMPLETE ENGINEERING SERVICES, HVAC, AND STRUCTURAL BEFORE BEGINNING CONSTRUCTION OF ANY KIND. NOTE: ALL FEDERAL, STATE, AND LOCAL CODES AND RESTRICTIONS TAKE PRECEDENCE OVER ANY PART OF THESE PLANS.

GREAT CARE AND EFFORT HAVE GONE INTO THE CREATION OF THESE BLUEPRINTS. HOWEVER, BECAUSE OF THE VARIANCE IN GEOGRAPHIC LOCATIONS, FUSION DESIGN WILL NOT ASSUME LIABILITY FOR ANY DAMAGES DUE TO ERRORS, OMISSIONS, OR DEFICIENCIES ON THESE PLANS. OWNER/BUILDER MUST COMPLY WITH LOCAL BUILDING CODES PRIOR TO COMMENCEMENT OF CONSTRUCTION.

THE PURCHASE OF THESE PLANS ENTITLES THE BUYER TO CONSTRUCT THIS HOUSE ONLY ONCE. ANY COPYING, TRACING, OR ALTERING OF THESE PLANS IS NOT PERMITTED. VIOLATORS WILL BE SUBJECT TO PROSECUTION UNDER COPYRIGHT LAWS.

Project Name & Address  
Lot 4 Block 1  
St George Court  
NRH, TX 76182

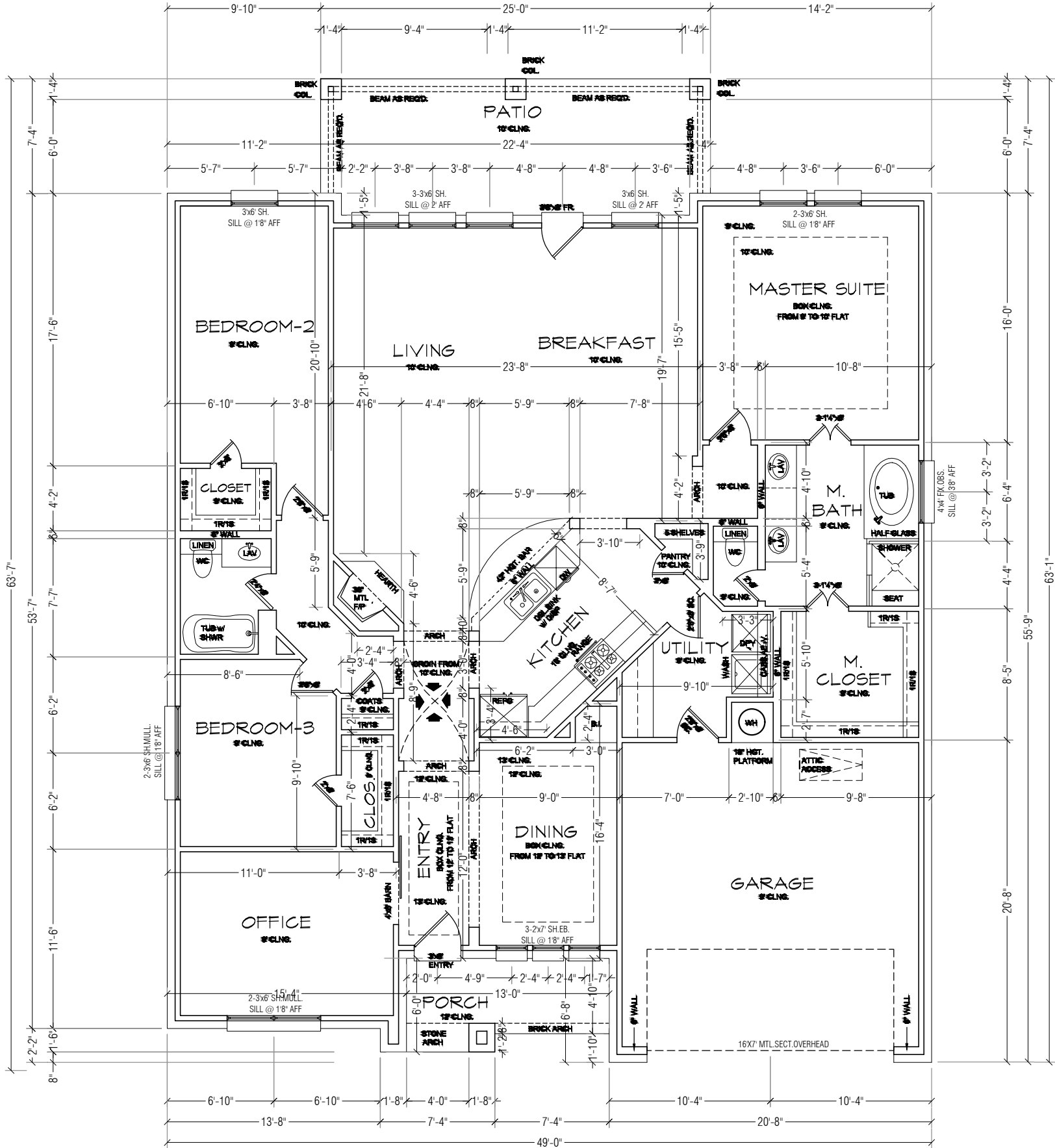
Project  
SITE PLAN

Date 4/28/2020	Drawn By ER
Scale 1'-0" = 20'-00"	North

Sheet  
1

FLOOR PLAN

scale: 1/8"=1'-0"



KEY	
TAG	DESCRIPTION
SH	SINGLE HUNG WINDOW
HC	HOLLOW CORE DOOR
SC	SOLID CORE DOOR
SD	SLIDING DOOR
FX	FIXED WINDOW
DB	DOUBLE DOOR
GD	GLASS DOOR
FD	FRENCH PATIO DOOR
BID	BI-FOLD DOOR

- FLOOR PLAN NOTES:
- ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTION. HEADERS, JOIST AND RAFTERS.
  - ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUDS UNLESS NOTED OTHERWISE.
  - WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE, REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
  - COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
  - CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
  - CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
  - BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20". A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
  - ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
  - ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
  - PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
  - BATHROOMS AND UTILITY ROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN. RANGE HOODS SHALL ALSO BE VENTED TO OUTSIDE.
  - ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
  - ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 5/8" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
  - ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2x4 JOISTS.
  - ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING. TAPE FLOAT AND SAND. (3 COATS) USE 5/8" GYPSUM BOARD ON CEILING WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER USE 1/2" GYP. BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
  - ALL BATH AND TOILET AREA WALLS AND CEILINGS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

SQUARE FOOTAGE	
PROPOSED LIVING AREA	2,015 SF
PROPOSED GARAGE	371 SF
PROPOSED COV'D PATIO	215 SF
PROPOSED PORCH/ENTRY	69 SF
TOTAL	2,670 SF

- NOTE:
- ALL CEILINGS TO BE 8'-0" FOR FIRST STORY UNLESS NOTED.
  - BUILDER TO APPROVE & VERIFY ALL PLANS BEFORE CONSTRUCTION.
  - VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
  - HVAC TO BE IN ATTIC UNLESS OTHERWISE NOTED.
  - W.H. IN UTILITY CLOSET.
  - PROVIDE SHUT-OFF VALVE FOR ALL GAS APPLIANCES REFERENCE IRC SECTION G2419.
  - ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOM OR HOT TUBS SHALL BE TEMPERED. TO COMELY W/ IRC SECTION R308.4.8.

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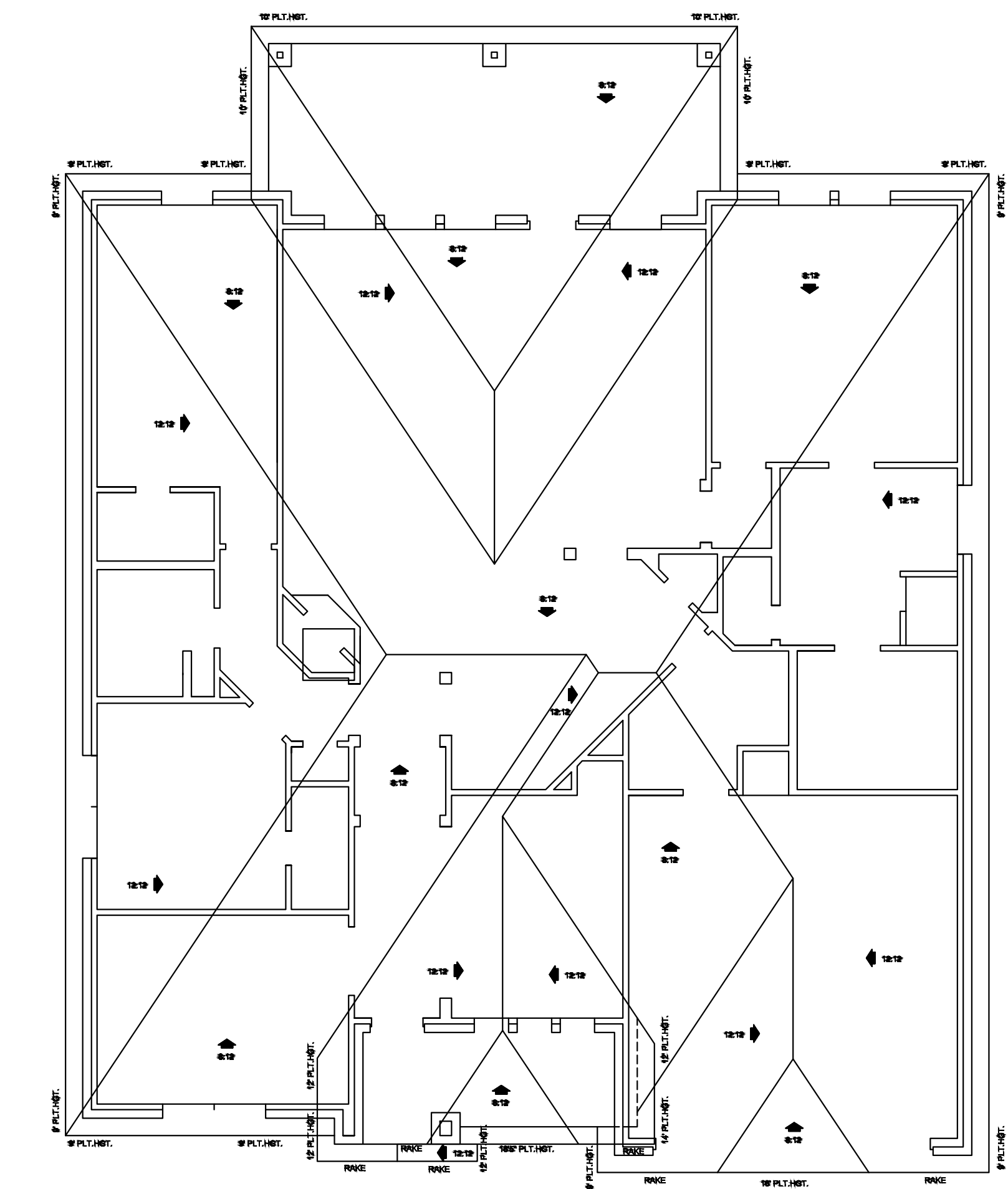
Project

FLOOR PLAN

Date	4/28/2020	Drawn By	ER
Scale	1/8" 1'-0"	North	

Sheet

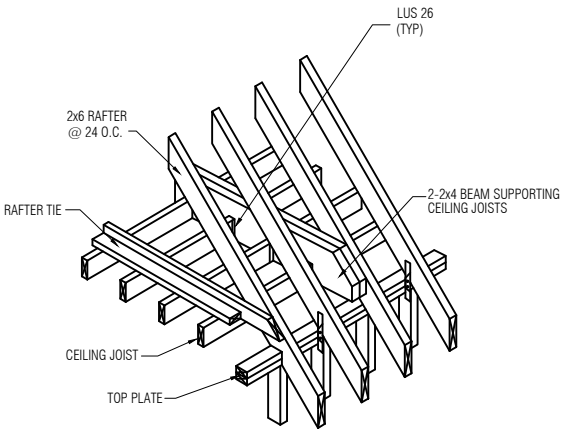
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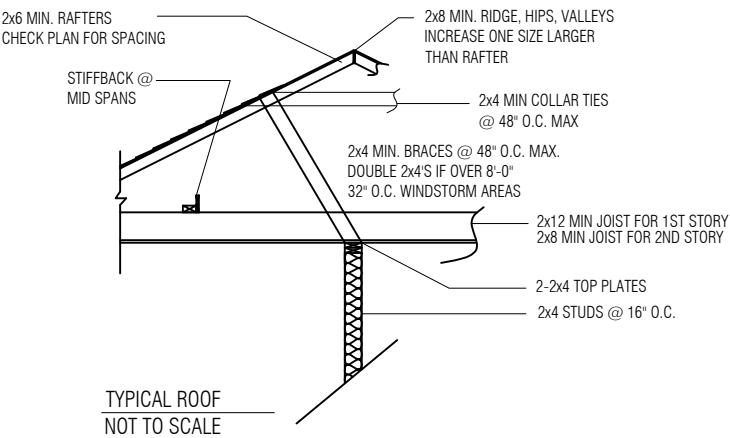
ROOF PLAN  
scale: 3/16"=1'-0"

5

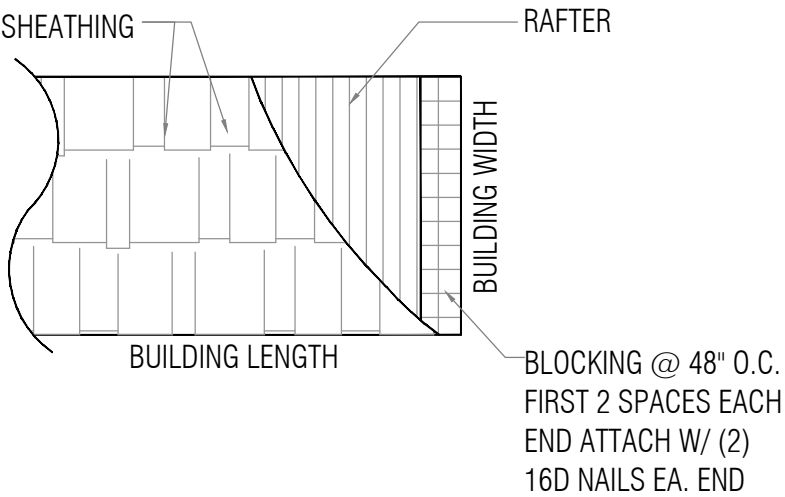
- NOTE:
1. MAIN ROOF PITCH TO BE 8:12 UNLESS NOTED.
  2. MAIN PLATE LINE TO BE 9'-0" UNLESS NOTED.
  3. ROOF ADDITION TO BE COMPOSITION SHINGLES, THAT WILL MATCH EXISTING UNLESS NOTED.
- FRAMING NOTES:
1. RAFTERS TO BE SUPPORTED BY CONT BRACING FOR HORIZONTAL SPANS OF 15'-0" OR GREATER.
  2. SUPPORT ALL HIP, VALLEYS AND RIDGES @ 8'-0" O.C. MAX.
  3. ALL RAFTERS TO BEAR ON SECOND FLOOR WALLS WHERE APPLICABLE.
  4. RAFTERS MAY BE SPLICED ONLY @ CONT. BRACING OR SECOND FLOOR WALLS.
  5. RAFTERS TO BE PLACED IN COMPLIANCE WITH ALL LOCAL CODES.
- EXAMPLE:
- A- 2x6 RAFTERS @ 16" O.C. MAX. WITH 1/2" P.W. DECKING.
  - B- 2x6 RAFTERS @ 24" O.C. MAX. WITH 5/8" P.W. DECKING.
  - C- 2x8 RAFTERS @ 24" O.C. MAX. WITH 5/8" P.W. DECKING.
6. FASCIA OVERHANG TO BE 18" (TYP.) UNLESS NOTED ON ELEVATIONS.
  7. ALL HIP/ VALLEY RAFTERS TO BE 2x8 UNLESS NOTED.



BEAM & RAFTER TIE DETAIL  
NOT TO SCALE



TYPICAL ROOF  
NOT TO SCALE



ROOF SHEATHING LAYOUT  
not to scale

- ROOF VENTING NOTES:
- PROVIDE ADEQUATE VENTING FOR ATTIC USING A COMBINATION OF CONTINUOUS SOFFIT VENTING AND EITHER CONTINUOUS RIDGE VENTS AT ALL ROOF RIDGES OR VENT TILES TO COORDINATE WITH ROOF TILES. OWNER TO MAKE FINAL DECISION. IF VENT TILES ARE SELECTED, THEY SHALL BE LOCATED ON THE UPPER 1/3 OF THE ROOF AND INSTALLED ON THE ROOF PLANES NOT VISIBLE FROM THE MAIN ENTRY DRIVE. REFER TO ROOF TILE MANUFACTURER SPECIFICATIONS FOR ANY ADDITIONAL VENTING NOTES OR REQUIREMENTS.

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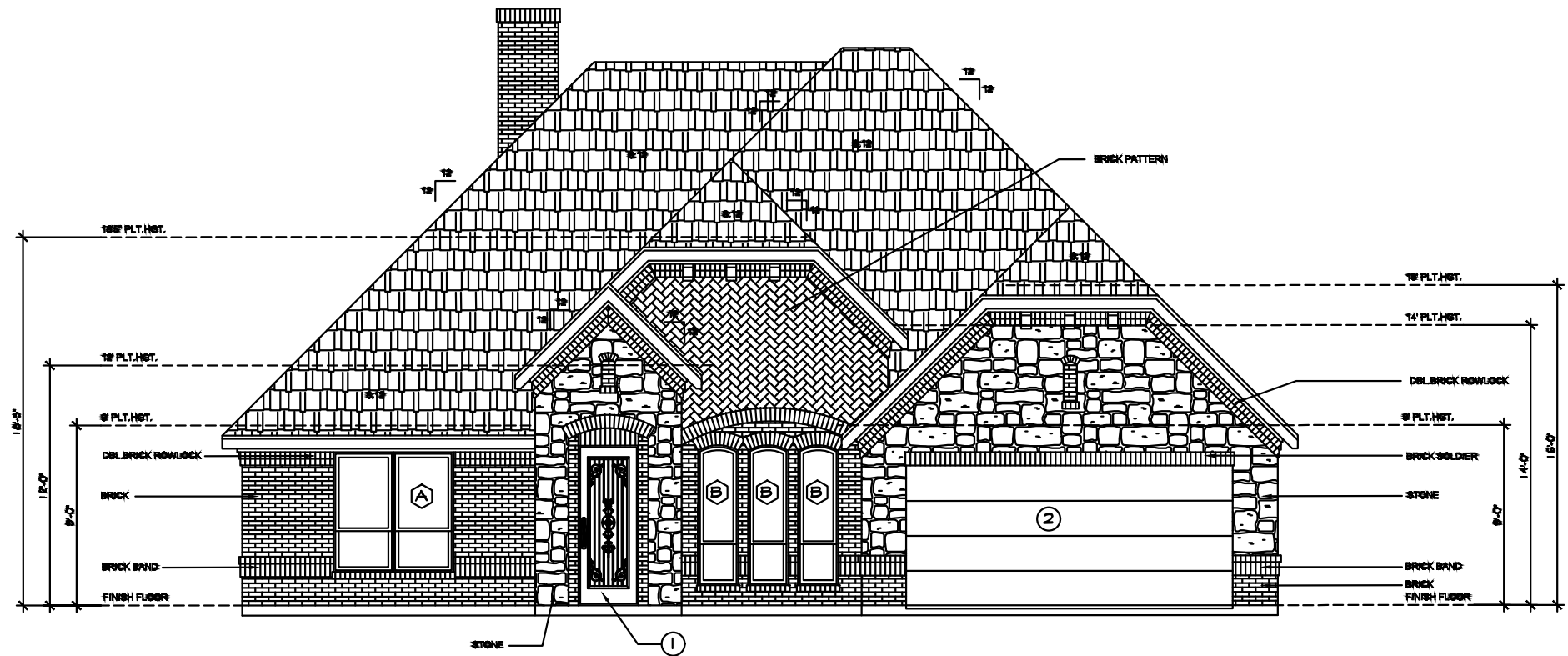
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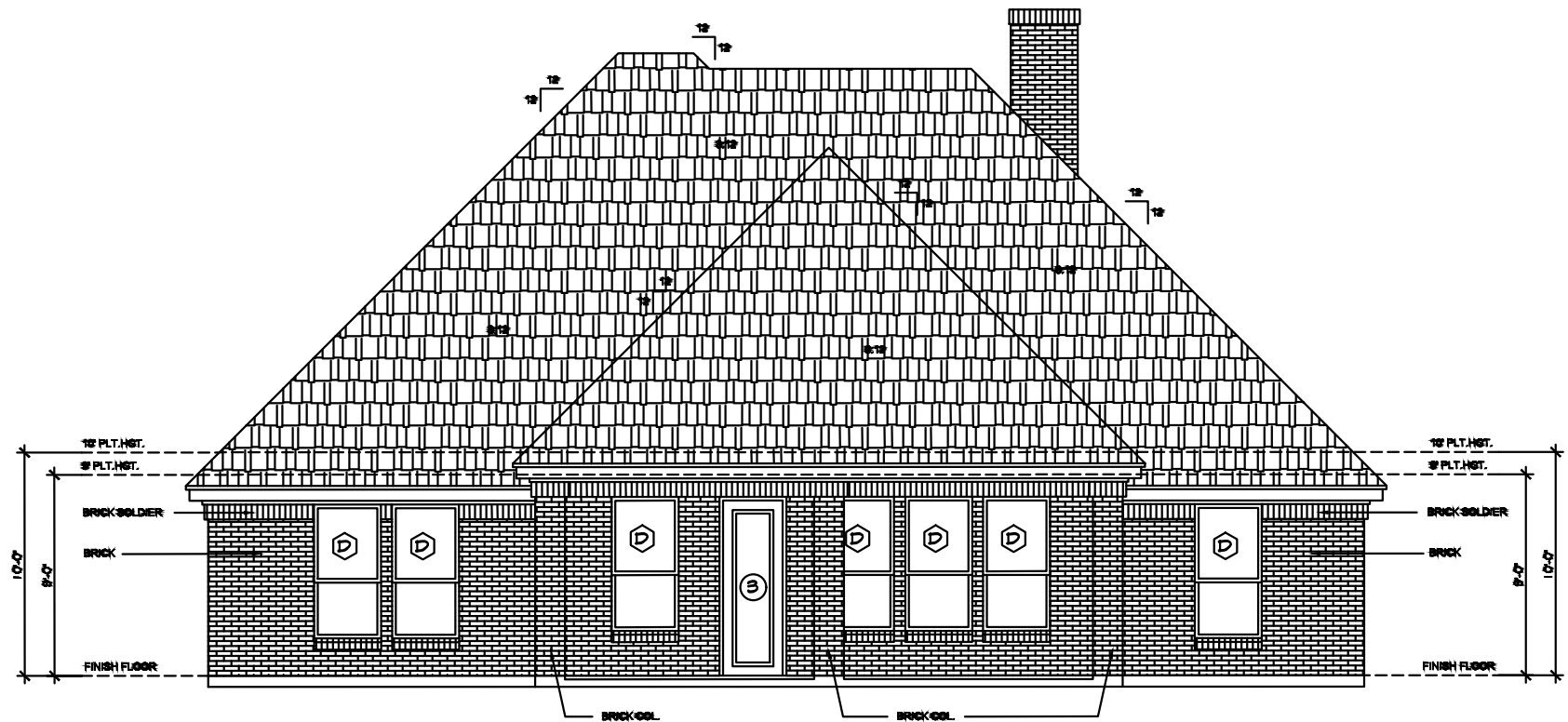
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ROOF PLAN

Date 4/28/2020	Drawn By ER
Scale 3/16" = 1'-0"	North

Sheet  
5



FRONT ELEVATION  
scale: 1/8"=1'-0"



REAR ELEVATION  
scale: 1/8"=1'-0"

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ELEVATIONS PLAN

Date 4/28/2020	Drawn By ER
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

























Sheet  
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RIGHT ELEVATION

8

ELECTRICAL SCHEDULE

-  BULK OPTIONAL CEILING FAN w/ LITE KIT
-  RECESSED INCANDESCENT
-  RECESSED SPOT
-  CEILING MOUNTED FIXTURE
-  WALL MOUNTED FIXTURE/COACH LIGHT
-  UNDER CABINET FLUORESCENT
-  OVERHEAD PULL CHAIN
-  EXHAUST FAN WITH LIGHT
-  EXHAUST FAN
-  DOUBLE FLOOD LIGHTS
-  4' @ 3000 FLUORESCENT
-  SWITCH
-  SWITCH WITH DIMMER
-  110-VOLT OUTLET
-  220-VOLT OUTLET
-  WEATHERPROOFED, GROUNDED 110-VOLT
-  GROUNDED 110-VOLT OUTLET
-  120 HOT 110-VOLT OUTLET
-  CEILING 110-VOLT OUTLET
-  FLOOR 110-VOLT OUTLET AND/OR UNDER
-  PHONE
-  TV CABLE
-  SMOKE DETECTOR
-  INTERCOM SPEAKER
-  MASTER INTERCOM SPEAKER
-  ELECTRIC EYE
-  SECURITY KEY PAD
-  DOORBELL
-  CHIME
-  GAS HOOKUP
-  HOSE BIBB
-  ELECTRICAL PANELS

